

ATTACHMENT B

**SELECTED ARCHITECTURAL DRAWINGS
HAROLD PARK - STAGE 1**



NOTES

1. DESIGN RESOLUTION

1.1. The drawings represent general architectural intent for the site and are not to be used for construction. All dimensions are confirmed and dimensioned at later stage.

1.2. Location of car park entry point is general only and will be confirmed and dimensioned at later stage.

1.3. The drawings are not to be used for construction and are subject to further design development at stage 2 DA.

1.4. Location of services zones on drawings is general and indicative only. Services zones include minor elements, such as wind pipes, fans, aerials, etc.

2. GRAPHIC PRESENTATION

2.1. The drawings are presented in a general and indicative manner. The drawings are generic only and do not represent specific design details. Some colour distortion may occur in the printed version of the drawings.

3. EXISTING STRUCTURES AND SERVICES

3.1. Extent and location of existing structures and services is shown on drawings. The drawings are generic only and do not represent specific design details. Survey information and will need to be verified on site at later stage.

3.2. All interchanged site levels are as per the existing survey information.



NOTE: FINAL DEDICATION OF ROADS
SUBJECT TO AUTHORITIES APPROVAL

PRECINCT	STAGINGS
PUBLIC OPEN SPACE	STAGE 1
PRECINCT 1	STAGE 2
PRECINCT 2	STAGE 3
PRECINCT 3	STAGE 4
PRECINCT 4	STAGE 5
PRECINCT 5	STAGE 6
PRECINCT 6	SUBJECT TO SECURING TENANTS
TRAMSHED	

1 INDICATIVE STAGING PLAN

1:1,000

Scale: 1:1000

Job no: 1750 date: 16/06/2012 scale @ A1: As indicated

Lot no: drawing no: DAMP-003 rev: F

public domain:

ASPECT Studios

Mirvac Design

architects in association:

client: mirvac

project: HAROLD PARK
C/16, NSW

DATE: 16/06/2012
DRAWN BY: J. BARRISON
CHECKED BY: J. BARRISON
APPROVED BY: J. BARRISON

INDICATIVE STAGING PLAN



LEGEND	
	TERRACE SETBACK (1.25m)
	PRIMARY BUILDING SETBACK (3m)
	SITE BOUNDARY
	PRECINCT BOUNDARY

NOTES

1. DESIGN RESOLUTION

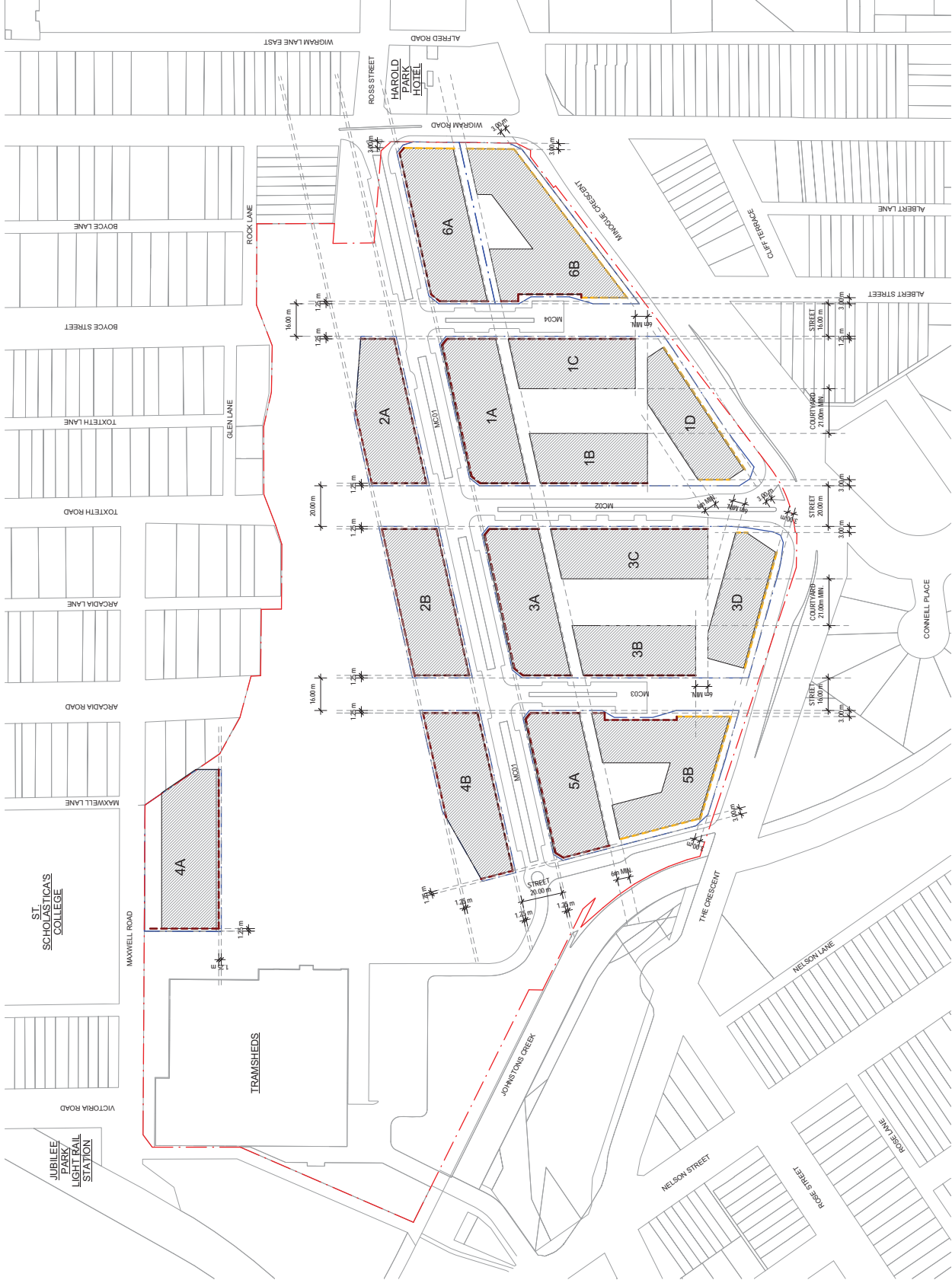
- The drawings represent general architectural intent for the site and are not to be used for construction. All dimensions, locations and dimensions are subject to confirmation and confirmation at later stage.
- Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
- Location of car park entry point is general only and subject to further design development at stage 2, DA.
- Location of services zones on drawings is general and indicative of the architectural design intent. Some colour distortion may occur in the printing process.
- Location of services zones on drawings is general and indicative of the architectural design intent. Some colour distortion may occur in the printing process.

2. GRAPHIC PRESENTATION

- Dimensions are in millimetres unless otherwise stated.
- Dimensions are in millimetres unless otherwise stated.
- Dimensions are in millimetres unless otherwise stated.
- Dimensions are in millimetres unless otherwise stated.
- Dimensions are in millimetres unless otherwise stated.

3. EXISTING STRUCTURES AND SERVICES

- Extent and location of existing structures and services is shown on drawings and will need to be verified on site at later stage.
- All unchanged site levels are as per the existing survey information.



1 BUILDING SETBACK - GROUND LEVEL

REV	DATE	DESCRIPTION
A	15/06/2012	PRELIMINARY SUBMISSION
B	15/06/2012	DESIGN DEVELOPMENT
C	15/06/2012	DESIGN DEVELOPMENT
D	15/06/2012	DESIGN DEVELOPMENT
E	15/06/2012	DESIGN DEVELOPMENT
F	15/06/2012	DESIGN DEVELOPMENT
G	15/06/2012	DESIGN DEVELOPMENT

PROJECT:
HAROLD PARK
 Ckba, NSW

client:

architects in association:

HASSELL
 ARCHITECTS

public domain:

Scale: 1:1000
job no: 1750
date: 16/06/2012
scale @ A1: 1:1000
drawing no: DAMP-005
rev: G

ATTACHMENT B



NOTES

1. DESIGN RESOLUTION

The drawings represent general architectural intent for the purpose of this development application only. They are not to be used for construction purposes. Only the information confirmed and dimensioned at this stage.

1.3 Deep Set Zone is shown in accordance with the relevant provisions of the Planning Act 2009.

1.4 Location of services zones on drawings is general and indicative only. Services zones include minor elements, such as vent pipes, air conditioning, etc.

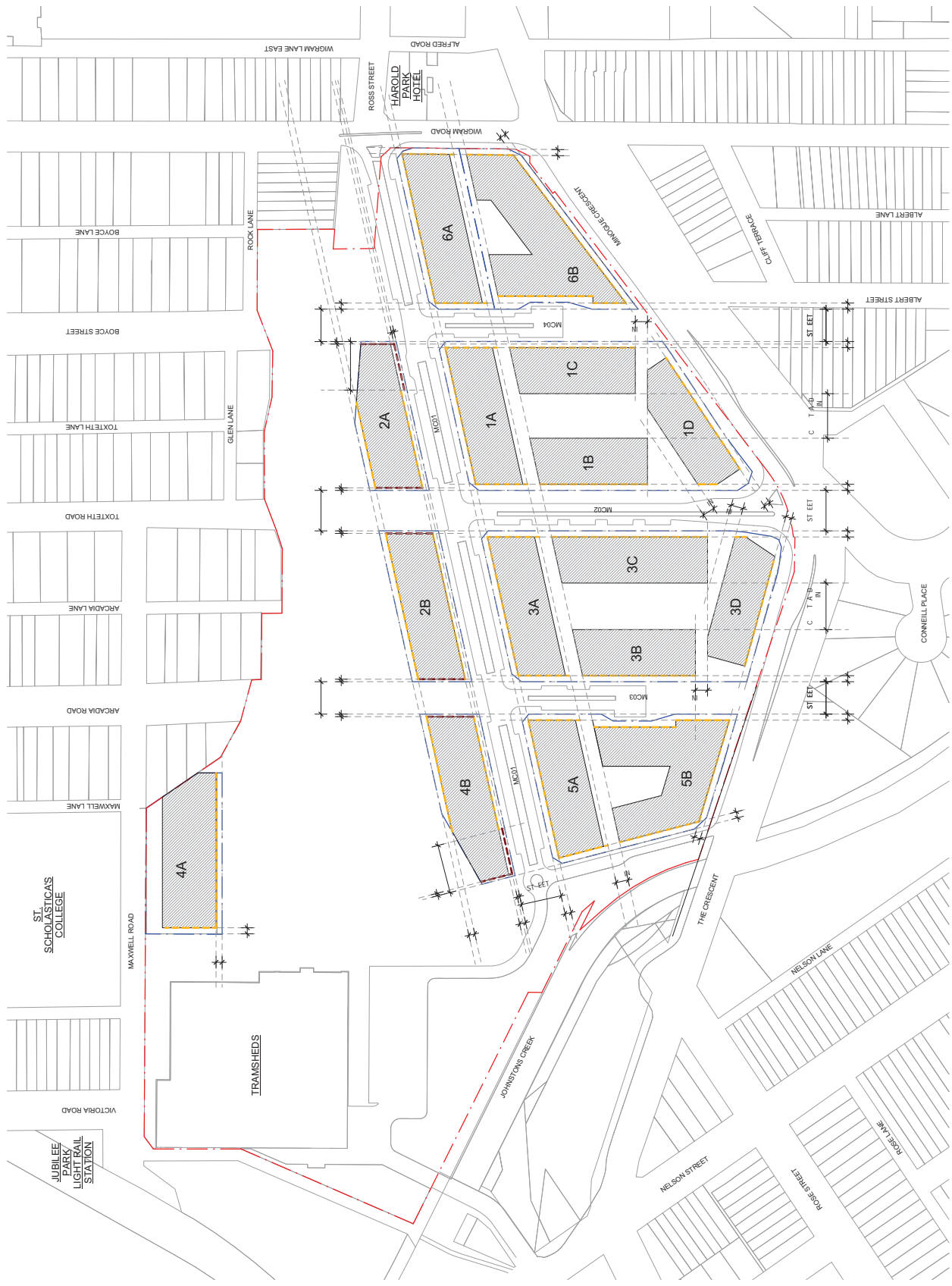
2. GRAPHIC PRESENTATION

The drawings are specific only and indicative of the architectural design intent. Some colouration may also occur in the printing process.

3.1 Extent and location of existing structures and services is according to the available survey information and will need to be confirmed by the applicant.

3.2 All interchanged site levels are as per the existing survey information.

LEGEND	
	TERRACE SETBACK (1.25m)
	PRIMARY BUILDING SETBACK (3m)
	PRIMARY BUILDING SETBACK (6m)
	SITE BOUNDARY
	PRECINCT BOUNDARY



1 BUILDING SETBACK - MID LEVEL
1:1000

<p>DATE: 15/05/2012 JOB NO: 1750 SCALE: A1: 1:1000 DRAWING NO: DAMP-006 REV: F</p>	<p>PROJECT: HAROLD PARK CLUBS, NSW</p>	<p>CLIENT: mirvac</p>	<p>ARCHITECTS IN ASSOCIATION: Mirvac Design</p>	<p>PUBLIC DOMAIN: ASPECT Studios</p>	<p>DATE: 15/05/2012 JOB NO: 1750 SCALE: A1: 1:1000 DRAWING NO: DAMP-006 REV: F</p>
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ATTACHMENT B



NOTES

1. HIGH RESOLUTION

1.1. The drawings represent general architectural intent for the purpose of this development application only. The drawings are not to be used for construction purposes and are subject to confirmation and dimensions at final stage.

1.2. Deep Soil Zone is shown in red only and subject to confirmation at final stage.

1.3. Deep Soil Zone is shown in red only and subject to confirmation at final stage.

1.4. Location of services zones on drawings is general and not to be used for construction purposes. Services zones may include minor elements, such as water, gas, sewer, and stormwater.

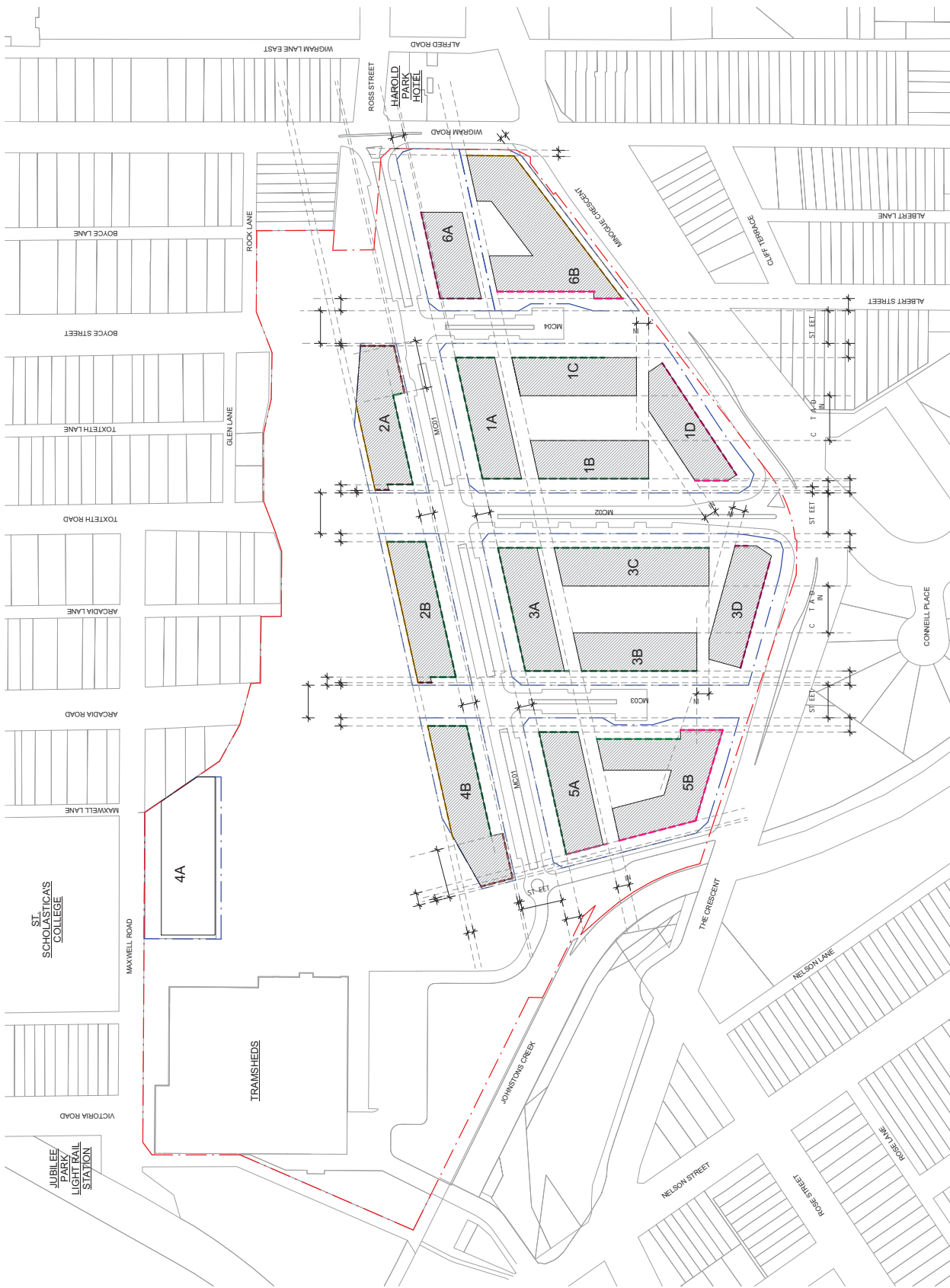
2. GRAPHIC PRESENTATION

2.1. The drawings are presented in specific only and not to be used for construction purposes. Some colouration may also occur in the printing process.

3. SERVICES ZONES

3.1. Extent and location of existing structures and services is according to the available survey information and will need to be confirmed at final stage.

3.2. All interchanged site levels are as per the existing survey information.



1 BUILDING SETBACK - UPPER LEVEL
1:1000

Scale: 1:1000
 Job no: 1750
 Date: 18/05/2012
 Drawing no: DAMP-007
 Rev: F

Public domain:
ASPECT Studios
 10/11-13/15
 10/11-13/15
 10/11-13/15

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 Tel: 02 9250 7777
 Fax: 02 9250 7778
 www.mirvac.com.au

client:
mirvac

project:
HAROLD PARK
 Glebe, NSW

DATE
 18/05/11
 18/05/11
 18/05/11
 18/05/11
 18/05/11

PRELIMINARY SUBMISSION
 CONSULTATION
 DEVELOPMENT APPLICATION
 APPROVAL
 APPROVAL
 APPROVAL

20/05/2012 12:25:20 PM
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ATTACHMENT B



Scale: 1:100
 Job no: 1750
 Date: 16/05/2012
 Drawing no: DAMP-008
 Scale: A1
 Date: 16/05/2012
 Drawing no: DAMP-008

NOTES

1. The drawings represent general architectural intent for the purpose of this development application only. All dimensions, levels and details are subject to confirmation and dimensioned at later stage.
2. Deep Soil Zones are shown in red and are subject to verification only, and does not include minor elements, such as footings, etc.
3. **GRAPHIC PRESENTATION** - The drawings are specifically only indicative of the architectural design intent. Some colour distortion may also occur in the printing process.
4. The location and extent of existing structures and services is according to the available survey information and will need to be confirmed by a separate survey.
5. All unchanged site levels are as per the existing survey information.

* Flat roof refer to massing diagram



NOTE: NUMBERS OF BUILDINGS LEVELS ARE RELATIVE TO ADJACENT GROUND LEVELS

LEGEND	1 STOREY	2 STOREYS	3 STOREYS	4 STOREYS	5 STOREYS	6 STOREYS	7 STOREYS	8 STOREYS
	[Lightest Orange]	[Light Orange]	[Medium Light Orange]	[Medium Orange]	[Dark Orange]	[Dark Orange]	[Dark Orange]	[Darkest Orange]

1 HEIGHT OF BUILDINGS IN STOREYS

1:1000

client: **mirvac**

architects in association: **Mirvac Design**

public domain: **ASPECT Studios**

project: **HAROLD PARK**
 Ckba, NSW

DATE: 16/05/2012
 DRAWING NO: DAMP-008

ATTACHMENT B



NOTES

1. DESIGN RESOLUTION

1.1. The drawings represent general architectural intent for the site and are not to be used for construction purposes. Final design and construction shall be subject to further design development at stage 2 DA.

1.2. Location of car park entry point is general only and will be subject to further design development at stage 2 DA.

1.3. Dimensions are general only and subject to further design development at stage 2 DA.

1.4. Dimensions are general only and subject to further design development at stage 2 DA.

1.5. Dimensions are general only and subject to further design development at stage 2 DA.

1.6. Dimensions are general only and subject to further design development at stage 2 DA.

1.7. Dimensions are general only and subject to further design development at stage 2 DA.

1.8. Dimensions are general only and subject to further design development at stage 2 DA.

1.9. Dimensions are general only and subject to further design development at stage 2 DA.

1.10. Dimensions are general only and subject to further design development at stage 2 DA.

2. EXISTING STRUCTURES AND SERVICES

2.1. Existing structures and services are shown in grey and are to be retained where possible.

2.2. Existing structures and services are shown in grey and are to be retained where possible.

2.3. Existing structures and services are shown in grey and are to be retained where possible.

2.4. Existing structures and services are shown in grey and are to be retained where possible.

2.5. Existing structures and services are shown in grey and are to be retained where possible.

2.6. Existing structures and services are shown in grey and are to be retained where possible.

2.7. Existing structures and services are shown in grey and are to be retained where possible.

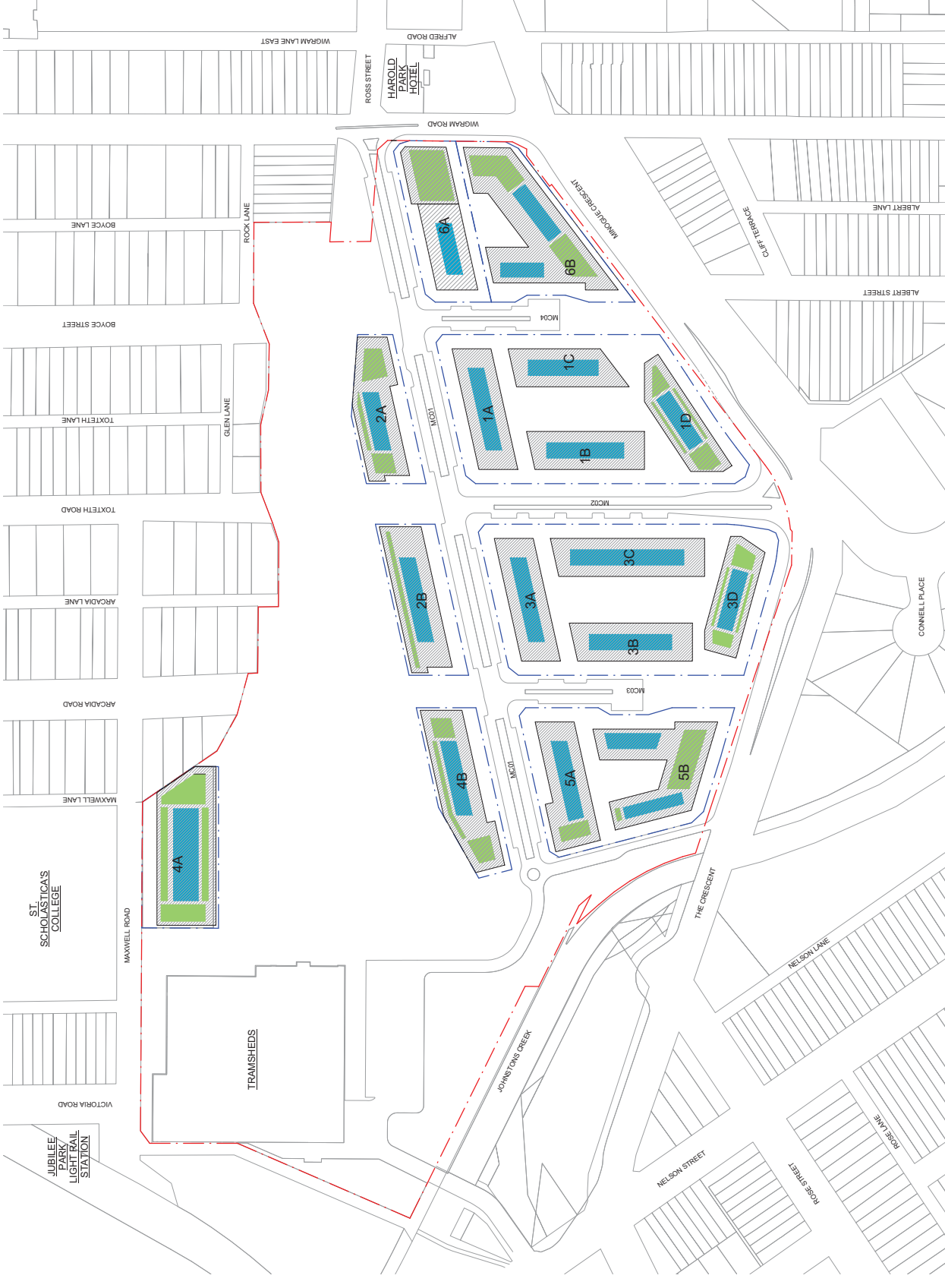
2.8. Existing structures and services are shown in grey and are to be retained where possible.

2.9. Existing structures and services are shown in grey and are to be retained where possible.

2.10. Existing structures and services are shown in grey and are to be retained where possible.

NOTE: AREA OF GREEN ROOF ZONE AND GREEN ROOF ARE SHOWN IN GREEN AND ARE SUBJECT TO DESIGN DEVELOPMENT FOR STAGE 2 DA SUBMISSION.

LEGEND
GREEN ROOF
BUILDINGS SERVICES



1 SITE PLAN (ROOF)
1:1000

Scale: 1:1000
 Job no: 1750
 Date: 18/08/2012
 Drawing no: DAMP-009
 rev: E

public domain:
ASPECT Studios
 10/11-13/11-15/11-18/11-21/11-24/11-27/11-30/11-31/12
 10/11-13/11-15/11-18/11-21/11-24/11-27/11-30/11-31/12

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 Fax: (02) 9232 1112
 www.mirvac.com.au

client:
mirvac

project:
HAROLD PARK
 Glebe, NSW
 Prepared by: [Name] Date: [Date]
 Checked by: [Name] Date: [Date]
 Drawn by: [Name] Date: [Date]

DATE	DESCRIPTION
18/08/12	ISSUED FOR SUBMISSION
18/08/12	ISSUED FOR SUBMISSION
18/08/12	ISSUED FOR SUBMISSION
18/08/12	ISSUED FOR SUBMISSION

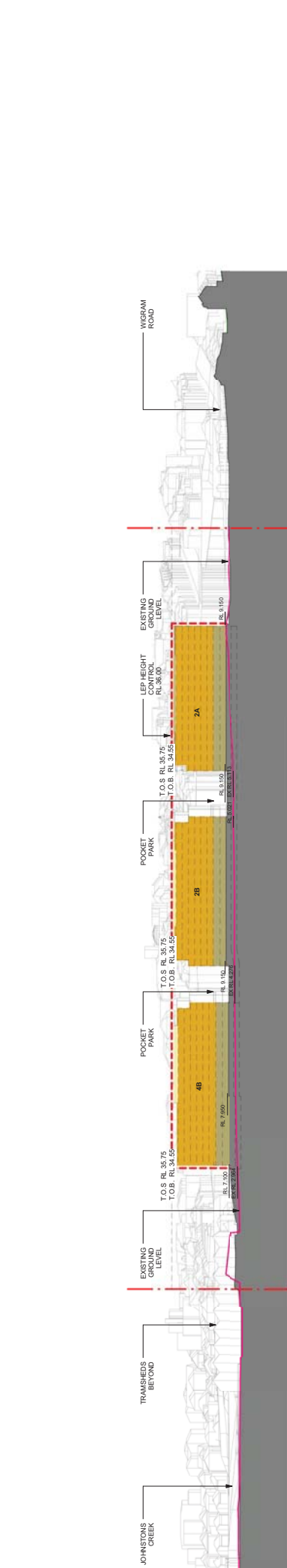
NOTES - DESIGN RESOLUTION

- The drawings represent general architectural intent for the confirmed and dimensioned at later stage.
- Location of car park entry point is general only and will be further design development at stage 2 DA.
- Location of service zones and drawings is general and indicative of the architectural design intent. Some colour distortion may occur in printing.
- Location of service zones and drawings is general and indicative of the architectural design intent. Some colour distortion may occur in printing.

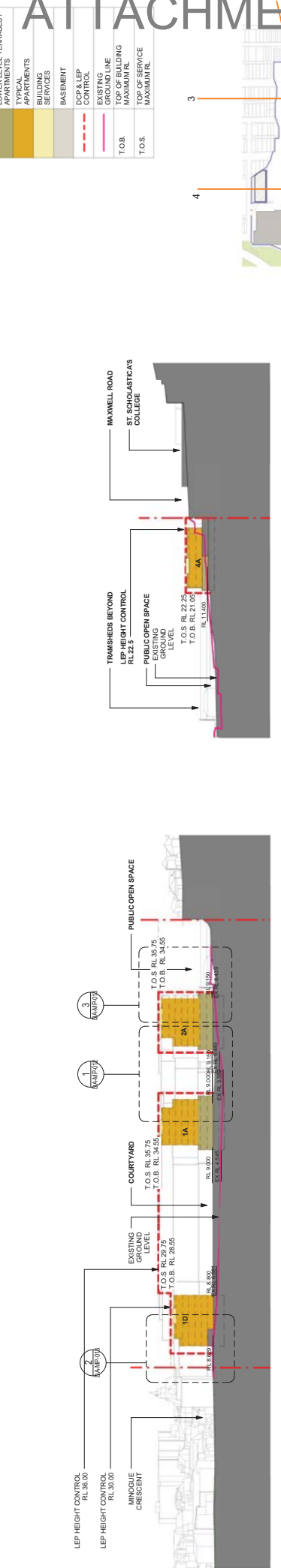
GRAPHIC PRESENTATION

- Typical apartment drawings are generic only and not site specific.
- Existing structures and services are shown in grey.
- Extent and location of existing structures and services is verified by site plan survey information and will need to be verified by site plan survey information and will need to be verified by site plan survey information.
- All unchanged site levels are as per the existing survey information.

1 SITE SECTION - THROUGH SITE
1:1000



2 SITE SECTION - THROUGH ROAD 1
1:1000

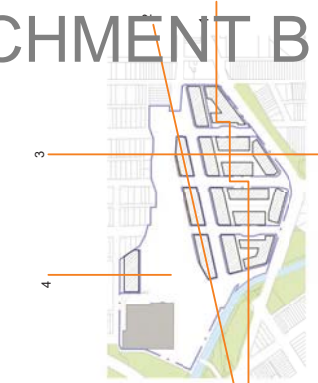


3 SITE SECTION - THROUGH PRECINCT 1
1:1000



LEGEND

[Color]	LOWER LEVEL TERRACES / APARTMENTS
[Color]	TYPICAL APARTMENTS
[Color]	EXISTING BUILDINGS SERVICES
[Color]	BASEMENT
[Color]	DCP & LEP CONTROL
[Color]	EXISTING BUILDING NAME
[Color]	TOP OF BUILDING MAXIMUM RL
[Color]	TOP OF SERVICE MAXIMUM RL



NOTES

1. **DESIGN INTENT**
 The architectural intent for the development is to provide a high-quality residential development in a central location.

2. **DESIGN RESOLUTION**
 The design resolution is at the preliminary stage of development. The design is indicative and does not include minor elements, such as window placements, etc.

3. **EXISTING STRUCTURES AND SERVICES**
 The location of existing structures and services is shown in red. The location of proposed structures and services is shown in yellow. The location of proposed structures and services is shown in green. The location of proposed structures and services is shown in blue.

4. **EXISTING TERRAIN**
 The existing terrain is shown in brown. The proposed terrain is shown in green.

5. **EXISTING UTILITIES**
 The location of existing utilities is shown in red. The proposed utilities are shown in blue.

6. **EXISTING SERVICES**
 The location of existing services is shown in red. The proposed services are shown in blue.

7. **EXISTING ROADS**
 The location of existing roads is shown in red. The proposed roads are shown in blue.

8. **EXISTING PARKS**
 The location of existing parks is shown in green. The proposed parks are shown in green.

9. **EXISTING LANDSCAPE**
 The location of existing landscape is shown in green. The proposed landscape is shown in green.

10. **EXISTING PLANTING**
 The location of existing planting is shown in green. The proposed planting is shown in green.

11. **EXISTING FURNITURE**
 The location of existing furniture is shown in green. The proposed furniture is shown in green.

12. **EXISTING LIGHTING**
 The location of existing lighting is shown in green. The proposed lighting is shown in green.

13. **EXISTING SECURITY**
 The location of existing security is shown in green. The proposed security is shown in green.

14. **EXISTING ACCESS**
 The location of existing access is shown in green. The proposed access is shown in green.

15. **EXISTING PAVEMENT**
 The location of existing pavement is shown in grey. The proposed pavement is shown in grey.

16. **EXISTING CURBS**
 The location of existing curbs is shown in grey. The proposed curbs are shown in grey.

17. **EXISTING SIGNAGE**
 The location of existing signage is shown in green. The proposed signage is shown in green.

18. **EXISTING ART**
 The location of existing art is shown in green. The proposed art is shown in green.

19. **EXISTING PUBLIC ART**
 The location of existing public art is shown in green. The proposed public art is shown in green.

20. **EXISTING PUBLIC SPACE**
 The location of existing public space is shown in green. The proposed public space is shown in green.

21. **EXISTING PUBLIC SERVICES**
 The location of existing public services is shown in green. The proposed public services are shown in green.

22. **EXISTING PUBLIC UTILITIES**
 The location of existing public utilities is shown in green. The proposed public utilities are shown in green.

23. **EXISTING PUBLIC ROADS**
 The location of existing public roads is shown in green. The proposed public roads are shown in green.

24. **EXISTING PUBLIC PARKS**
 The location of existing public parks is shown in green. The proposed public parks are shown in green.

25. **EXISTING PUBLIC LANDSCAPE**
 The location of existing public landscape is shown in green. The proposed public landscape is shown in green.

26. **EXISTING PUBLIC PLANTING**
 The location of existing public planting is shown in green. The proposed public planting is shown in green.

27. **EXISTING PUBLIC FURNITURE**
 The location of existing public furniture is shown in green. The proposed public furniture is shown in green.

28. **EXISTING PUBLIC LIGHTING**
 The location of existing public lighting is shown in green. The proposed public lighting is shown in green.

29. **EXISTING PUBLIC SECURITY**
 The location of existing public security is shown in green. The proposed public security is shown in green.

30. **EXISTING PUBLIC ACCESS**
 The location of existing public access is shown in green. The proposed public access is shown in green.

31. **EXISTING PUBLIC PAVEMENT**
 The location of existing public pavement is shown in grey. The proposed public pavement is shown in grey.

32. **EXISTING PUBLIC CURBS**
 The location of existing public curbs is shown in grey. The proposed public curbs are shown in grey.

33. **EXISTING PUBLIC SIGNAGE**
 The location of existing public signage is shown in green. The proposed public signage is shown in green.

34. **EXISTING PUBLIC ART**
 The location of existing public art is shown in green. The proposed public art is shown in green.

35. **EXISTING PUBLIC PUBLIC ART**
 The location of existing public public art is shown in green. The proposed public public art is shown in green.

36. **EXISTING PUBLIC PUBLIC SPACE**
 The location of existing public public space is shown in green. The proposed public public space is shown in green.

37. **EXISTING PUBLIC PUBLIC SERVICES**
 The location of existing public public services is shown in green. The proposed public public services are shown in green.

38. **EXISTING PUBLIC PUBLIC UTILITIES**
 The location of existing public public utilities is shown in green. The proposed public public utilities are shown in green.

39. **EXISTING PUBLIC PUBLIC ROADS**
 The location of existing public public roads is shown in green. The proposed public public roads are shown in green.

40. **EXISTING PUBLIC PUBLIC PARKS**
 The location of existing public public parks is shown in green. The proposed public public parks are shown in green.

41. **EXISTING PUBLIC PUBLIC LANDSCAPE**
 The location of existing public public landscape is shown in green. The proposed public public landscape is shown in green.

42. **EXISTING PUBLIC PUBLIC PLANTING**
 The location of existing public public planting is shown in green. The proposed public public planting is shown in green.

43. **EXISTING PUBLIC PUBLIC FURNITURE**
 The location of existing public public furniture is shown in green. The proposed public public furniture is shown in green.

44. **EXISTING PUBLIC PUBLIC LIGHTING**
 The location of existing public public lighting is shown in green. The proposed public public lighting is shown in green.

45. **EXISTING PUBLIC PUBLIC SECURITY**
 The location of existing public public security is shown in green. The proposed public public security is shown in green.

46. **EXISTING PUBLIC PUBLIC ACCESS**
 The location of existing public public access is shown in green. The proposed public public access is shown in green.

47. **EXISTING PUBLIC PUBLIC PAVEMENT**
 The location of existing public public pavement is shown in grey. The proposed public public pavement is shown in grey.

48. **EXISTING PUBLIC PUBLIC CURBS**
 The location of existing public public curbs is shown in grey. The proposed public public curbs are shown in grey.

49. **EXISTING PUBLIC PUBLIC SIGNAGE**
 The location of existing public public signage is shown in green. The proposed public public signage is shown in green.

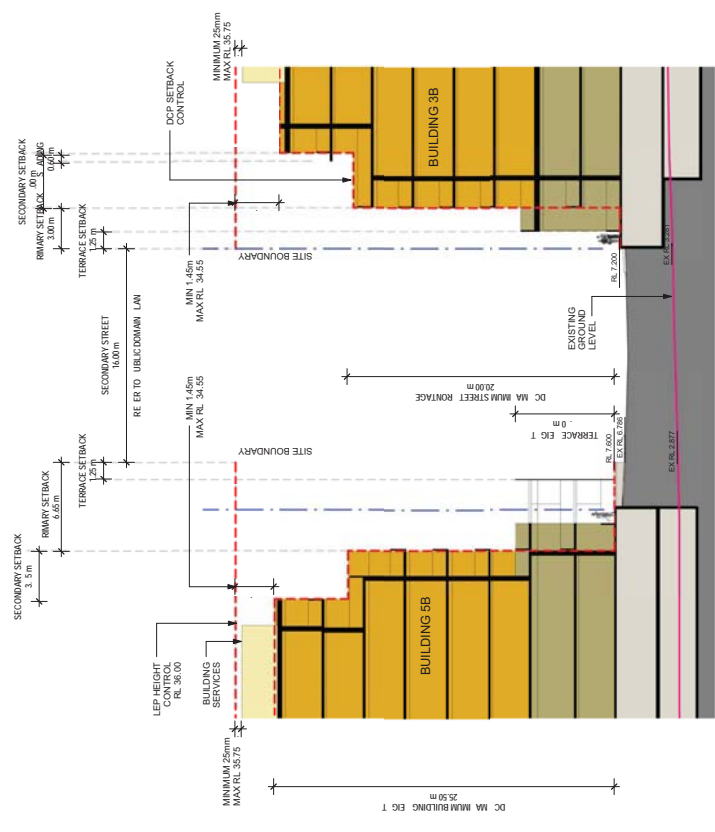
50. **EXISTING PUBLIC PUBLIC ART**
 The location of existing public public art is shown in green. The proposed public public art is shown in green.

ATTACHMENT B

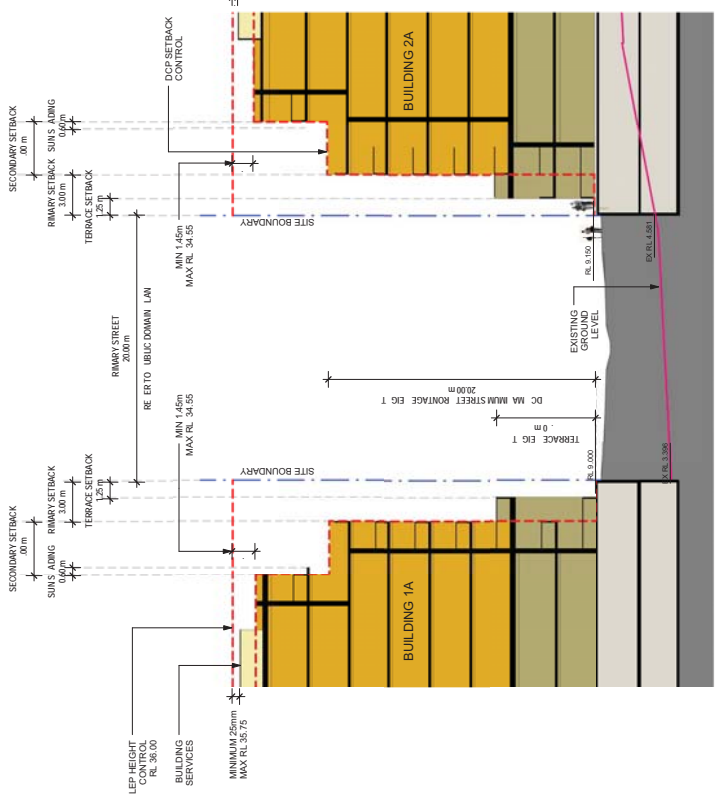
LEGEND
LOWES LEVEL TERRACES / TYPICAL APARTMENTS
UNUSUAL APARTMENTS
BUILDING SERVICES
BASEMENT
DGP & LEP CONTROL
EXISTING GROUND LINE
PROPOSED BUILDING MAXIMUM R.L.
TOP OF SERVICE MAXIMUM R.L.
T.O.B.
T.O.S.



Scale: 1:200
 Date: 16/06/2012
 Job no: 1750
 Drawing no: DAMP-012
 Scale @ A1: As indicated
 Rev: G



2 SETBACK AT 16m STREET
 1:200



1 SETBACK AT 20m STREET
 1:200

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 Email: info@aspectstudios.com.au

client: **mirvac**

project: **HAROLD PARK**
 Glebe, NSW

Rev: G
 16/06/2012 11:37:24 AM
 C:\Revised\Projects\A\0003411_1_Basic_Building_Plan.rvt

NOTES

1. DESIGN RESOLUTION

1.1. This drawing is prepared for general structural intent for the purposes of the development application only and will be replaced by a more detailed structural drawing at a later stage of the design process.

1.2. Location of car park entry point is general only and will be replaced by a more detailed drawing at a later stage of the design process.

1.3. Deep Soil Zone is shown in this drawing for general information only and does not include minor elements, such as vent pipes, items, etc.

1.4. All dimensions are in millimetres unless otherwise stated.

1.5. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.6. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.7. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.8. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.9. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.10. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.11. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.12. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.13. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.14. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.15. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.16. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.17. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.18. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.19. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.20. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.21. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.22. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.23. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.24. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.25. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.26. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.27. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.28. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.29. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.30. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.31. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.32. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.33. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.34. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.35. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.36. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.37. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.38. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.39. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.40. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.41. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.42. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.43. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.44. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.45. All levels are in Australian Height Datum (AHD) unless otherwise stated.

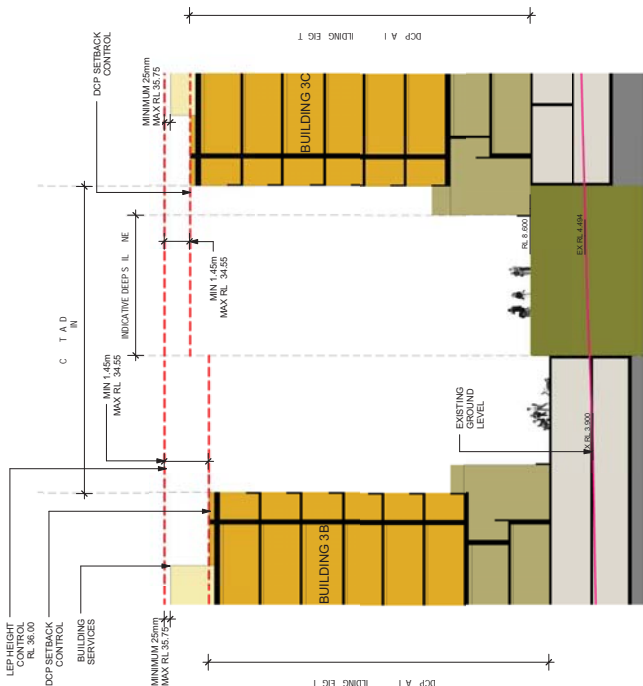
1.46. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.47. All levels are in Australian Height Datum (AHD) unless otherwise stated.

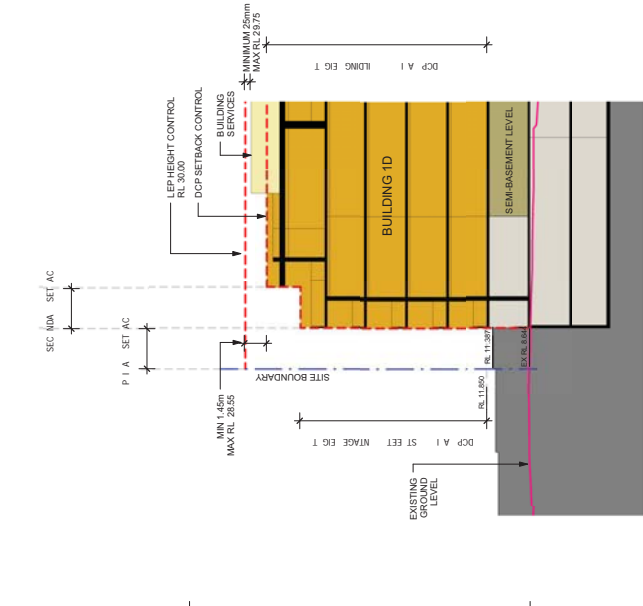
1.48. All levels are in Australian Height Datum (AHD) unless otherwise stated.

1.49. All levels are in Australian Height Datum (AHD) unless otherwise stated.

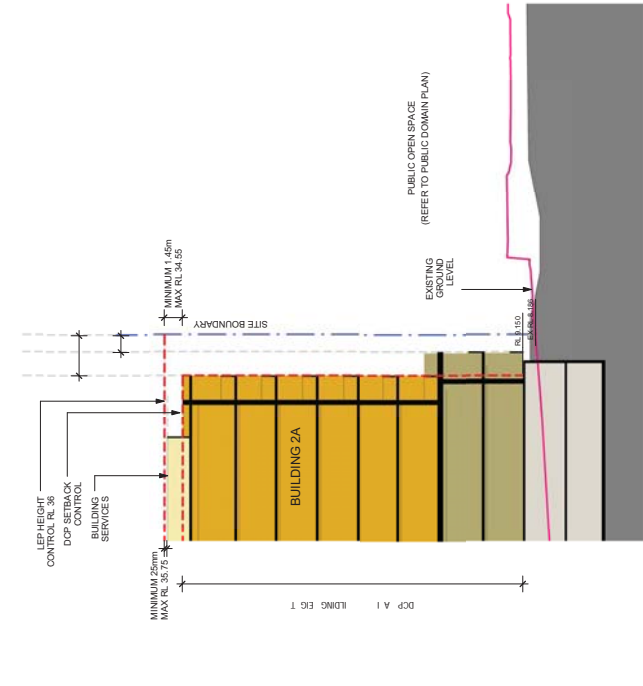
1.50. All levels are in Australian Height Datum (AHD) unless otherwise stated.



1 SETBACK AT COURTYARD
1:200



2 SETBACK AT CRESCENT
1:200



3 SETBACK AT PUBLIC OPEN SPACE
1:200

LEGEND	
[Green Box]	LOWER LEVEL TERRACES / APARTMENTS
[Yellow Box]	TYPICAL APARTMENTS
[Orange Box]	BUILDINGS SERVICES
[Grey Box]	BASEMENT
[Red Dashed Line]	DCP & LEP CONTROL
[Red Solid Line]	EXISTING LINE
[Pink Line]	TOP OF BUILDING
[Blue Line]	MAXIMUM RL
[Black Line]	T.O.S.
[Black Line]	TOP OF SERVICE
[Black Line]	MAXIMUM RL



REV	DATE	DESCRIPTION
A	15/05/2012	PROVISIONAL SUBMISSION
B	15/05/2012	PROVISIONAL SUBMISSION
C	15/05/2012	PROVISIONAL SUBMISSION
D	15/05/2012	PROVISIONAL SUBMISSION
E	15/05/2012	PROVISIONAL SUBMISSION
F	15/05/2012	PROVISIONAL SUBMISSION
G	15/05/2012	PROVISIONAL SUBMISSION

PROJECT:
HAROLD PARK
GLEBE, NSW

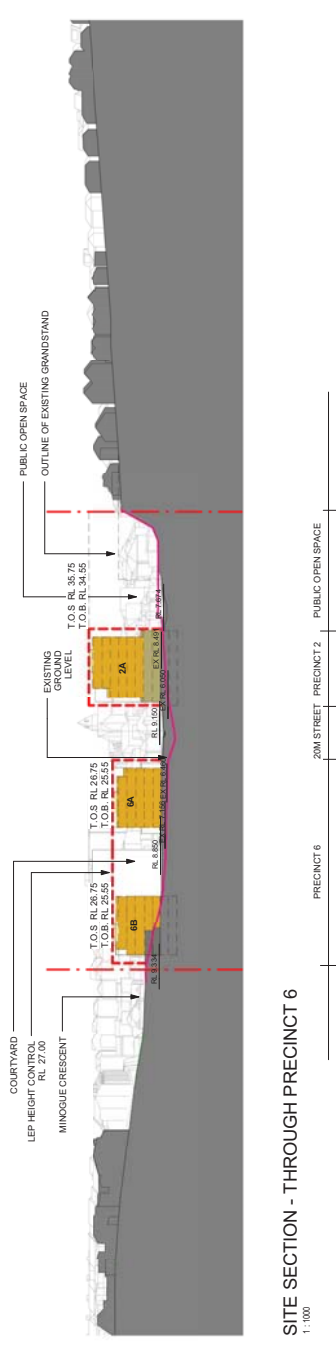
client:
mirvac

architects in association:
Mirvac Design

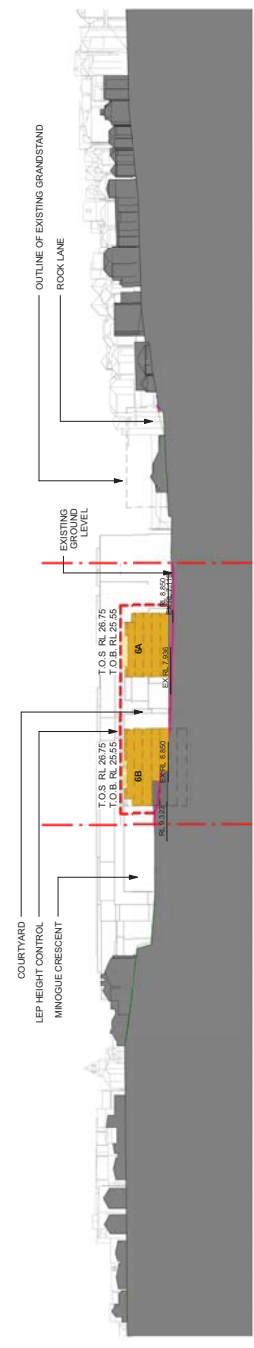
public domain:
ASPECT Studios

scale @ A1: As indicated
date: 15/05/2012
job no: 1750
drawing no: DAMP-013

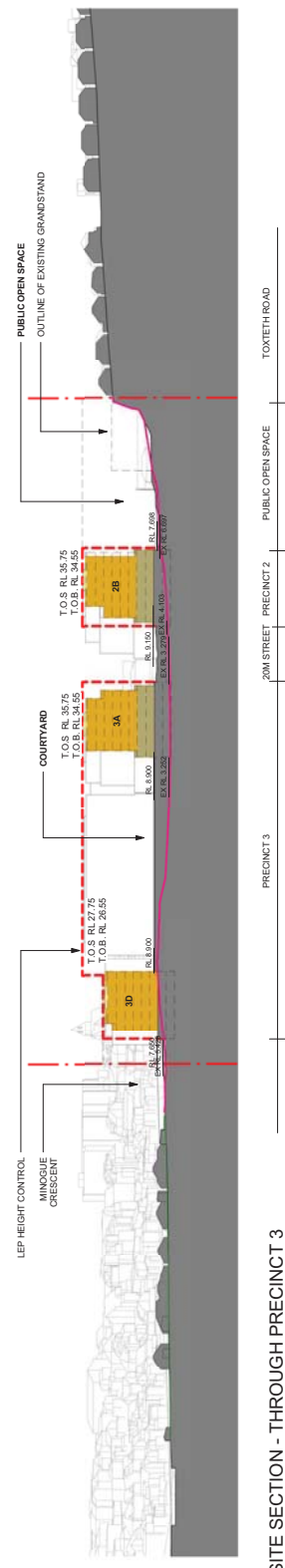
ATTACHMENT B



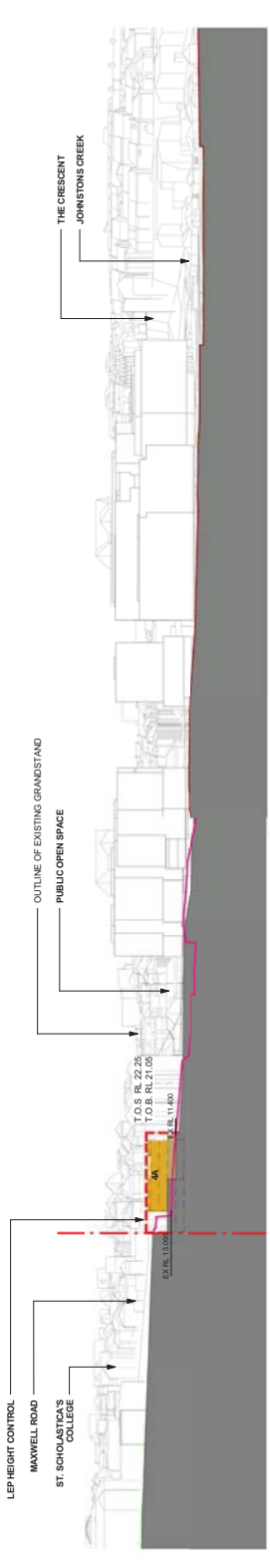
1 SITE SECTION - THROUGH PRECINCT 6
1:1000



2 SITE SECTION - THROUGH ROSS STREET
1:1000



3 SITE SECTION - THROUGH PRECINCT 3
1:1000



4 SITE SECTION - THROUGH PRECINCT 4
1:1000

NOTES

1. DESIGN RESOLUTION

1.1. This drawing is prepared for the purpose of the development application only.

1.2. Location of car park entry point is general only and will be subject to further design development at stage 2 DA.

1.3. Deep Soil Zone is shown in red only and subject to further design development at stage 2 DA. It is general and indicative only and does not include minor elements, such as vent pipes, floor drains, etc.

1.4. Cobwebs presented on drawings are generic only and indicative of the architectural design intent. Some colour distortion is present.

2. EXISTING STRUCTURES AND SERVICES

2.1. Existing location of existing structures and services is shown in grey.

2.2. Existing site information and data used to be verified on site at later stage.

2.3. All site levels are as per the existing survey information.

LEGEND	DESCRIPTION
[Green Box]	LOWER LEVEL TERRACES / APARTMENTS
[Yellow Box]	TYPICAL APARTMENTS
[Orange Box]	BUILDING SERVICES
[Grey Box]	BASEMENT
[Red Dashed Line]	DGP & LEP CONTROL
[Pink Dashed Line]	EXISTING GROUND LINE
[Red Solid Line]	T.O.B.
[Blue Solid Line]	T.O.S.
[Red Dotted Line]	MAXIMUM FLOODING
[Blue Dotted Line]	TOP OF SERVICE
[Green Dotted Line]	MAXIMUM RL



Scale: 1:300
 Job no: 1750
 Date: 10/05/2012
 Drawing no: DAMP-014
 Scale @ A1: As indicated
 rev: D

client: **mirvac**

architects in association: **Mirvac Design**

public domain: **ASPECT Studios**

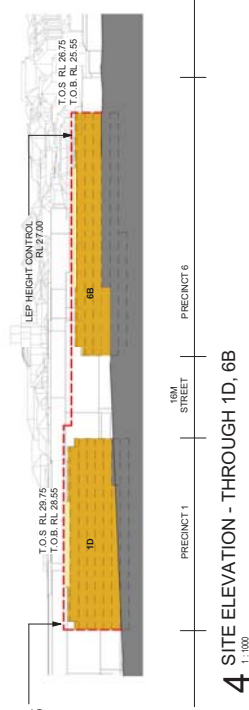
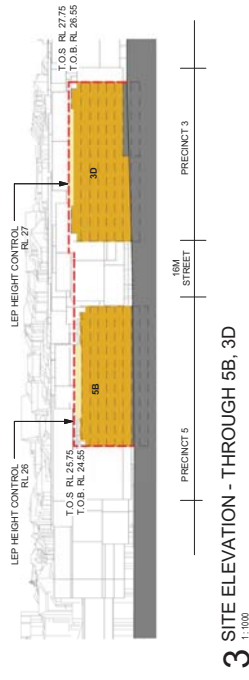
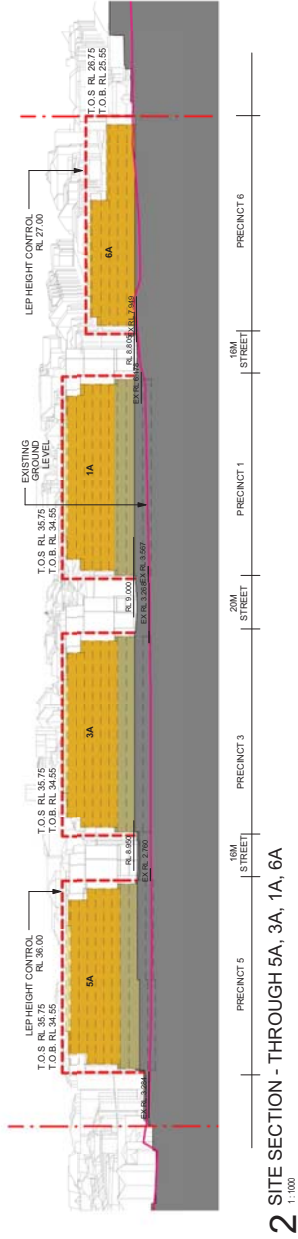
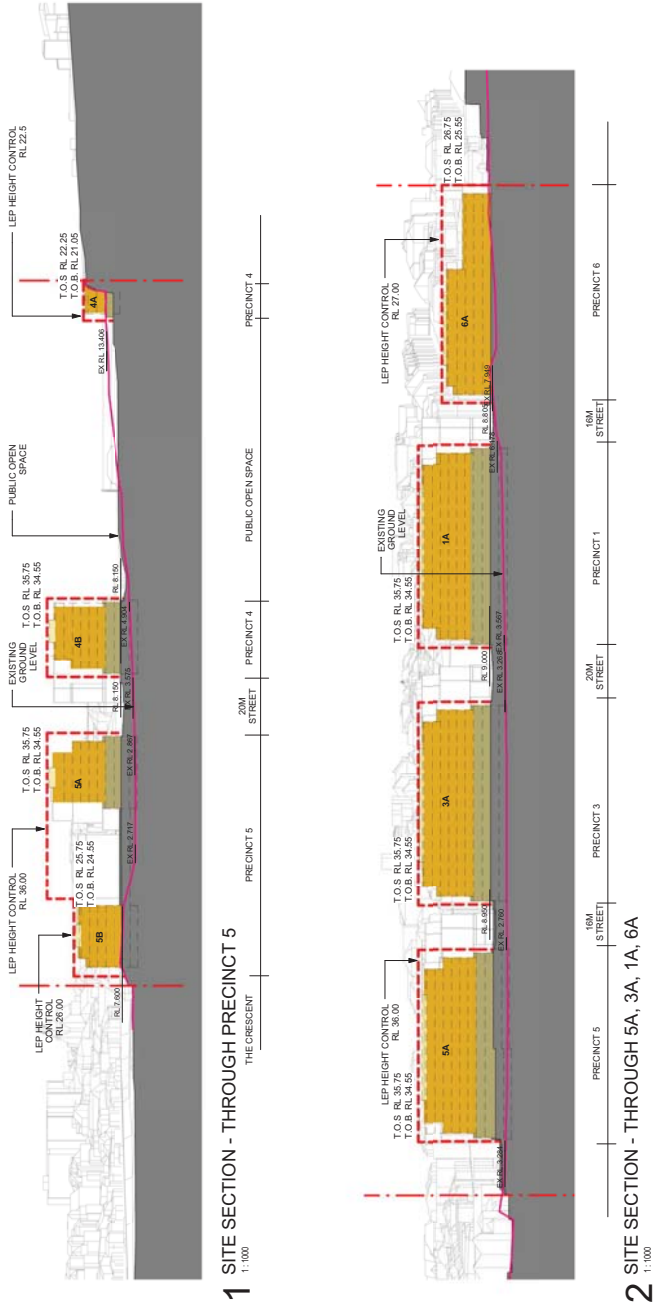
HAROLD PARK
 City of NSW

Site: 10/05/2012
 Job no: 1750
 Drawing no: DAMP-014

REV	DATE	BY	CHKD	APP'D
A	10/05/12	D. MURPHY	D. MURPHY	D. MURPHY
B	10/05/12	D. MURPHY	D. MURPHY	D. MURPHY
C	10/05/12	D. MURPHY	D. MURPHY	D. MURPHY
D	10/05/12	D. MURPHY	D. MURPHY	D. MURPHY

NOTES

- DESIGN RESOLUTION**
1.1. The proposed architectural intent for the purposes of this development application only.
1.2. Location of car park entry point is general only and will be further design development at stage 2 DA.
1.3. Deep Soil Zone is shown inductively only and subject to further design development at stage 2 DA. It is general and inductive only, and does not include minor elements, such as vegetation, lighting, etc.
- GRAPHIC PRESENTATION**
2.1. Colours presented on drawings are generic only and may also occur in the final presentation. Some colour distortion may occur in the printing process.
2.2. The proposed architectural intent is subject to further design development at stage 2 DA.
2.3. **EXISTING STRUCTURES AND SERVICES**
2.3.1. Existing structures and services are shown in grey. They are shown according to the available survey information and will need to be verified on site at later stage.
2.3.2. Targeted air vents are as per the existing survey information.



LEGEND	
LOWER LEVEL TERRACES /	
APARTMENTS	
APARTMENTS	
BUILDINGS	
SERVICES	
BASEMENT	
CD3 & LEP CONTROL	
EXISTING GROUND LINE	
TOP OF BUILDING	
MAXIMUM RL	
MAXIMUM RL	
T.O.S.	

NOTES

1. DESIGN RESOLUTION

1.1. The drawings represent general architectural intent for the site and are not to be used for construction purposes. Further design development at later stages will be subject to further design development at stage 2 DA.

1.2. Location of car park entry point is general only and will be confirmed and dimensioned at later stages.

1.3. Location of existing structures and services are indicated on site plan drawings as general and indicative only and not to be taken as a guarantee of their location, height, area, etc.

1.4. Existing structures and services are shown as indicated on site plan drawings.

1.5. Existing structures and services are shown as indicated on site plan drawings.

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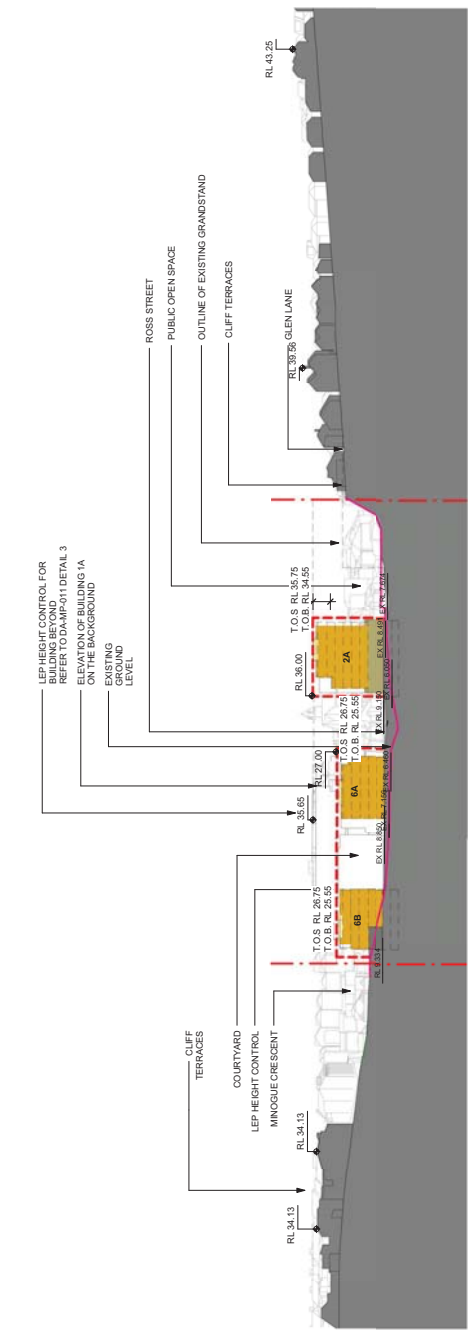
1.96. Existing structures and services are shown as indicated on site plan drawings.

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1.100. Existing structures and services are shown as indicated on site plan drawings.



1 SITE SECTION - THROUGH PRECINCT 6
1:1000

ATTACHMENT B

LEGEND	DESCRIPTION
[Green Box]	LOWER LEVEL TERRACES / APARTMENTS
[Yellow Box]	TYPICAL APARTMENTS
[Orange Box]	BUILDING SERVICES
[Grey Box]	BASEMENT
[Red Dashed Line]	DGP & LEP CONTROL
[Red Solid Line]	EXISTING CLIFF LINE
[Red Dotted Line]	T.O.B. (TOP OF BUILDING)
[Red Dotted Line]	T.O.S. (TOP OF SERVICE)
[Red Dotted Line]	MAXIMUM RL
[Red Dotted Line]	MAXIMUM RL



Scale: 1:200
 Job no: 1750
 Date: 16/06/2012
 Drawing no: DAMP-023
 rev: B

SITE SECTION PRECINCT 6



HASSELL

Mirvac Design

mirvac

HAROLD PARK
 Glebe, NSW

client: **mirvac**

architects in association: **mirvac**

date: 16/06/2012
 rev: 0
 drawing no: DAMP-023

ATTACHMENT B

NOTES

1. GENERAL RESOLUTION

- The general architectural intent for the purpose of this development application only, and will be confirmed and dimensioned at later stage.
- Deep Soil Zone is shown in grey only and subject to indicative only, and does not include minor elements, such as
- Location of services zones on drawings is general and

2. GRAPHIC PRESENTATION

- Covers presented on drawings are generic only and may also occur in the printing process.
- EXISTING STRUCTURES AND SERVICES**
- According to the available survey information and will need to be confirmed by the relevant authorities.
- All exchanged data levels are as per the existing survey information

LEGEND	LOWER LEVEL TERRACES / APARTMENTS	TYPICAL APARTMENTS	BUILDING SERVICES	BASEMENT	DDP & LEP CONTROL	EXISTING GROUND LINE	EXISTING BUILDING MAXIMUM RL	TOP OF SERVICE	MAXIMUM RL
	[Light Green Box]	[Yellow Box]	[Orange Box]	[Dark Green Box]	[Red Dashed Line]	[Red Solid Line]	[Blue Dashed Line]	[Blue Solid Line]	[Blue Solid Line]
						T.O.B.		T.O.S.	



1 MASSING

Scale: 1:500
 Job no: 1750
 Date: 10/05/2012
 Drawing no: DAMP-031
 scale @ A1: As indicated
 rev: C

client: **mirvac**

architects in association: **Mirvac Design**

public domain: **ASPECT Studios**

project: **HAROLD PARK**
 Glebe, NSW

REV	DATE	DESCRIPTION
A	10/05/12	ADJUSTMENTS TO DAMP-031
B	10/05/12	REVISIONS
C	10/05/12	REVISIONS